



83 Trafalgar Road, Brighton, Portslade BN41 1GU

£1,200pcm

Pearson
Keehan

SORRY NO MORE APPOINTMENTS AVAILABLE DUE TO HIGH VOLUME OF ENQUIRIES.

SUITABLE FOR A PROFESSIONAL COUPLE & SMALL FAMILIES.

Situated in a ideal location close to Boundary/Station Road shopping thoroughfare & Portslade Station.

Bus routes operate locally giving access to the city centre as well as the A27 slip road being close by making commutes out of the city possible.

A very well presented newly redecorated 2 bedroom 1st floor flat.

The property features include: Good size living room, Kitchen with gas cooker, Two bedrooms (one double & one single), Bathroom with electric shower.

Newly laid flooring throughout.

Sorry no Pets.

Available Now.

Approximate Room Dimensions

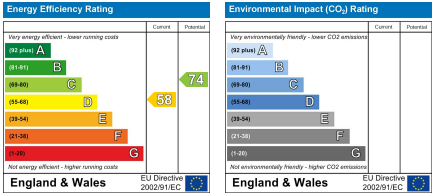
Living Room 15'08 x 12'06

Bedroom 1 13'04 x 12'06

Bedroom 2 8'09 x 6'03

Council Tax: A

These property details are set out as a general outline only and do not constitute any part of an Offer or Contract. Any services, equipment, fittings or central heating systems have not been tested and no warranty is given or implied that these are in working order. Buyers are advised to obtain verification from their solicitor or surveyor. Fixtures, fittings and other items are not included unless specially described. All measurements, distances and areas are approximate and for guidance only. Room measurements are taken to be the nearest 10 cm and prospective buyers are advised to check these for any particular purpose.



Pearson Keehan

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